

MEMORANDUM

TO: APC Ordinance Committee
FROM: Ryan O'Gara, AICP
SUBJECT: Highland Park Neighborhood Form Based Overlay
DATE: May 27, 2021

Begun in early 2018, the residents of the historic Highland Park Neighborhood began to study ways to better preserve the look, feel, and quality of life in their neighborhood. Their efforts resulted in a request to city council in 2019 to authorize the APC staff to assist in their efforts and explore any zoning amendments that might further their goals.

After numerous neighborhood gatherings, a draft of a form based overlay was developed by staff that addressed the development concerns of the neighborhood. Unlike previous overlays developed by staff, the Highland Park Form Based Overlay is very limited in scope (per the desires of the neighborhood) to address just a few important items to the residents for new home construction, such as placement of detached garages, roof pitch, and standards for front porches.

These limited development constraints are designed to ensure any new home construction will harmonize with the numerous historic homes and not detract from the character of the neighborhood. Further information can be found here:

<https://highlandparklafayette.com/overlay/>

This ordinance amendment proves the form based overlay process established in Chapter 7 is incredibly customizable to address specific development needs for specific areas of the community.

STAFF RECOMMENDATION:

Approval and send to full commission

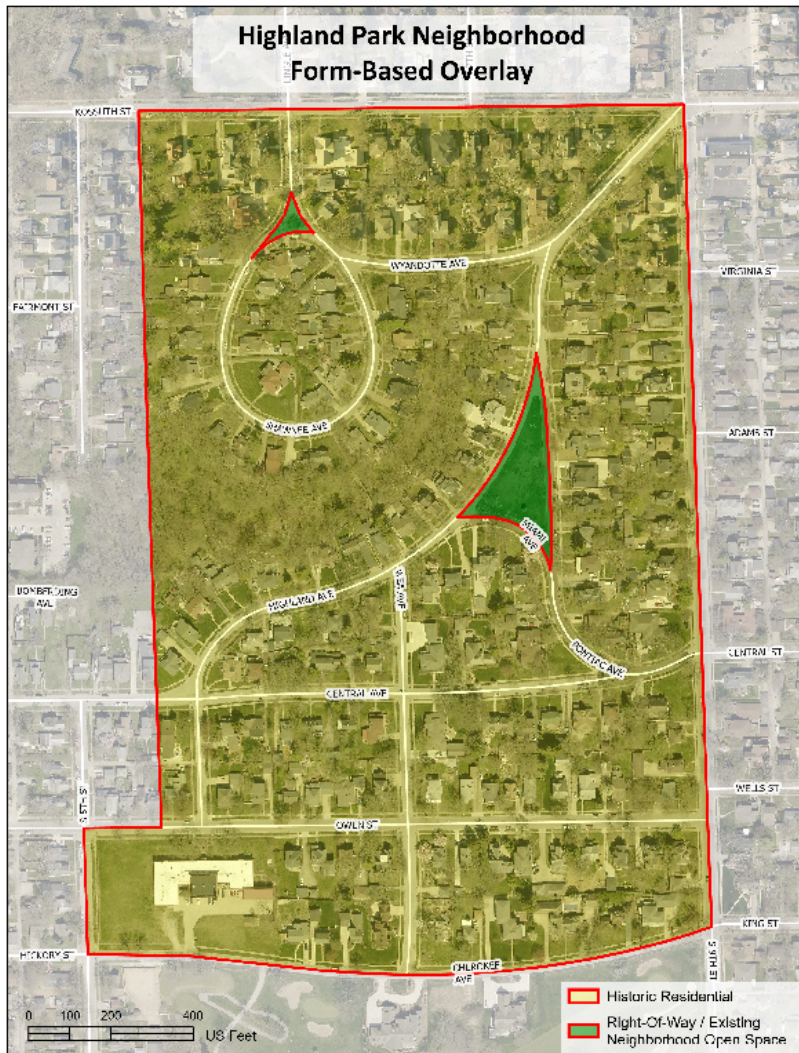
7-4 HIGHLAND PARK NEIGHBORHOOD *FORM-BASED OVERLAY*

7-4-1 PURPOSE AND INTENT

- (a) The purpose of the Highland Park Neighborhood ***Form-Based Overlay*** is to ensure that future redevelopment in the neighborhood is of a character in keeping with the historic nature of the neighborhood. Redevelopment within the overlay shall comply with the following standards and the provisions of this Ordinance.
- (b) The intent of the Highland Park Neighborhood ***Form-Based Overlay*** is to protect the historic nature of the neighborhood through specific land use and development requirements.

7-4-2 DISTRICT BOUNDARY AND DEVELOPMENT SECTORS

- (a) The Highland Park Neighborhood ***Form-Based Overlay***, shall be as shown on the following map and contains two ***Development Sectors***: “Historic Residential” and “Right-Of-Way / Existing Neighborhood Open Space”.



7-4-3 USES IN THE HIGHLAND PARK NEIGHBORHOOD

- (a) Unless otherwise prohibited or specified in this section, all permitted and special **uses** within the overlay shall conform to properties' underlying **zones** as delineated in the Permitted Use Table per Chapter 3 of the UZO.
- (b) Areas within the overlay designated as "Right-Of-Way / Existing Neighborhood Open Space" fall under the UZO definition of **Right-Of-Way** and are bound to the requirements of that definition and of all applicable state and local regulations governing and limiting its use.

7-4-4 REQUIREMENTS FOR NEW SINGLE-FAMILY DETACHED DWELLINGS

Within the Historic Residential sector, all new single-family detached **dwellings** built after the adoption of this ordinance shall be subject to the development standards consistent with their underlying **zone** except for those development standards specifically controlled by this section. A final determination of compliance with these items shall be made by the **APC** staff in consultation with the **Administrative Officer**, in its review for zoning compliance approval.

(a) Site Layout:

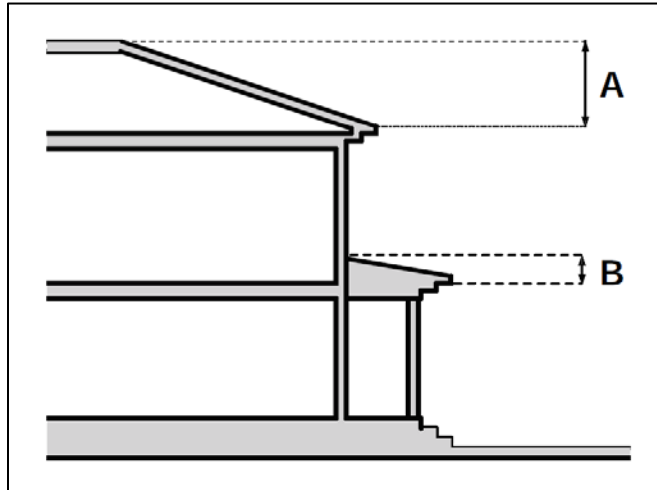
- (1) Per UZO Section 4-4-1, average **setbacks** along **street frontages** shall be permitted for qualifying, **form-based overlay** projects based on the qualifying criteria in that section unless a reduced standard is found in this section.

(b) Permitted Materials & Style Requirements:

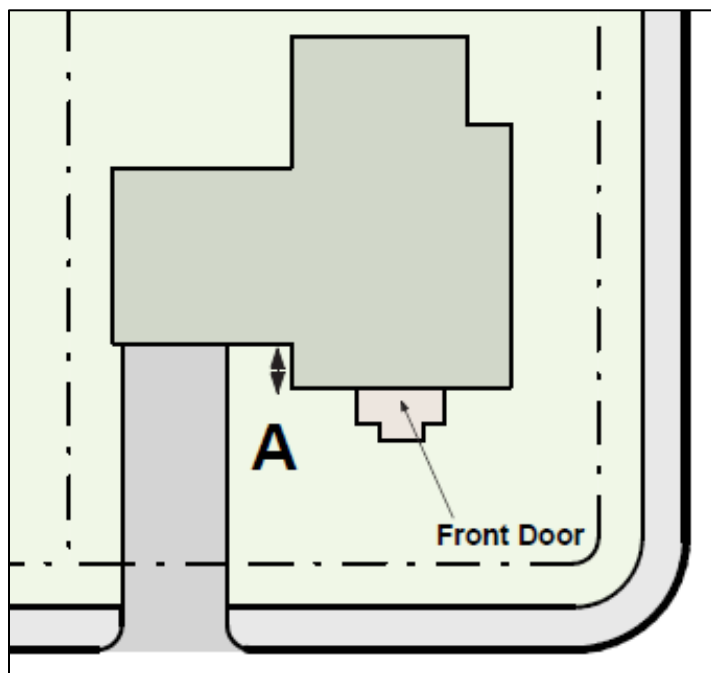
- (1) Below are the materials and style requirements for the Highland Park Neighborhood **Form-Based Overlay**. These requirements apply only to single-family detached homes that are to be newly constructed and their detached garages (if any). Prohibited Exterior Finishing Materials include:

- Corrugated Fiberglass
- Exterior Insulation and Finish System (EFIS)
- Mirrored Glass
- Styrofoam (exposed as final finish)
- Tyvek or equivalent wrap (exposed as final finish)
- Unfinished Concrete Block

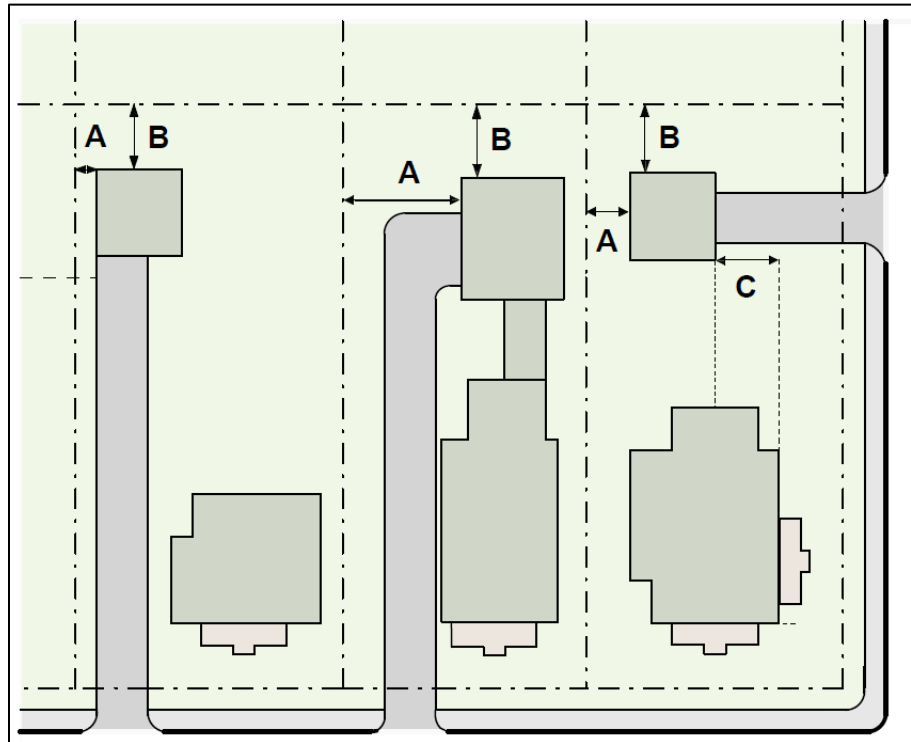
- (c) Architecture, Design & Integrity for single-family detached **dwelling**s:
- (1) Minimum ground floor elevation: 2.5-feet above grade.
 - (2) Main Roof Structure Pitch Range (Illustrated as “A” below): The roof pitch shall be at a ratio of 6:12 or steeper (flat-roof **dwelling**s excluded).
 - i. Exception: Ancillary Roof Structures (Illustrated as “B” below), (Front and Rear roofed-porches for example) can have roof pitches less than 6:12.



- (d) Garages
- (1) Front-loaded, attached garages must be recessed at least 5-feet minimum behind the façade the front door of the **dwelling** is located, as illustrated as “A” below.



- (2) Front-loaded, detached garages: Shall be located behind the primary structure in the rear yard and setback a minimum of 1-foot from side/rear lot lines (illustrated as “A” and “B” respectively).
- (3) Corner-lot detached garages shall be located behind the street-facing façade of the dwelling a minimum of 5-feet (illustrated as “C” below).
- (4) Corner lot garages may load from any **street frontage**.
- (5) Where meeting the standards for detached garages is not possible due to the configuration of the lot, topography, setbacks, or other development constraints, the **Administrative Officer** may consider alternatives for detached garages that do not comply with the requirements of this section.



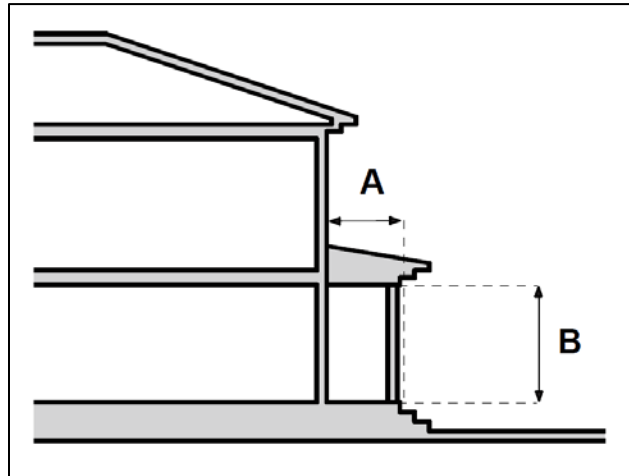
7-4-5 OPTIONAL REQUIREMENTS FOR NEW SINGLE-FAMILY DETACHED DWELLINGS

Within the Historic Residential sector, all new single-family detached **dwelling**s built after the adoption of this ordinance shall be subject to the following optional development standards should these elements be incorporated into the final design of the house. A final determination of compliance with these items shall be made by the **APC** staff in consultation with the **Administrative Officer**, in its review for zoning compliance approval.

- (a) Four-Sided Architecture: As determined by the **Administrative Officer**, a finished elevation in terms of quality and distribution of materials on a façade is required on every side of a single-family **dwelling**. Each side shall be architecturally similar to the other sides in terms of the final finish.

(b) Roofed Front Porches: If a new single family detached **dwelling** means to incorporate a roofed front porch with the **dwelling's** primary entrance located along a street frontage, the following requirements shall apply. Roofed front porches that are designed with standards less than one or more of the following requirements shall be considered roofed front stoops and are not regulated by this section. Unroofed porches and stoops are also not regulated by this section.

- (1) Roofed front porches shall maintain a 5-foot minimum depth from the **dwelling's** façade (illustrated below as "A")
- (2) Roofed front porches shall maintain height of 8-foot minimum from the porch floor to porch ceiling (illustrated below as "B").
- (3) Roofed front porch floor height above grade: No higher than the elevation of the ground floor of the **dwelling**.



- (4) Roofed front porches shall maintain a minimum width of at least 25% of the width of the **dwelling's** façade they are located on (illustrated as "A" below).

